

Inspection Report

Provided By



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Inspection Address

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Report Information

Client Information

Client Name	The Vendors
Total Fee	\$485.00

Inspection Information

Report/Agreement #	040221013831061
Inspection Date:	04 Feb 2021
Inspection Time:	01:38 pm

Purpose Of This Report

The inspection reported on herein is to provide advice to a prospective purchaser or other interested party regarding the condition of the property at the time of inspection.

The report is not intended to replace a buyer's careful inspection of the property.

There may be minor defects within the property that are not included in this report. Generally, minor defects will only be reported where the inspector considers them to be unusual for the age and type of the inspected building and the inspector considers repair to be beneficial.

The report is intended as professional advice on technical matters which are over and above the expertise of a typical purchaser.

Scope Of This Report (Building Defects)

This report documents building defects identified during an inspection conducted in accordance with Part 1 of the Australian Standard AS 4349 2007 (Inspection of Residential Buildings).

As such, it is a report of the visual inspection carried out to only those areas of the building and property where reasonable access as defined by the Australian Standards was available. For more information regarding this, please see the following page of this report.

This report is not a structural engineers report and as such, we recommend that a consulting engineer be engaged to address any concerns as to the structural integrity of building elements and foundations.

An inspection of the electrical wiring and circuitry should be made by a licensed electrical contractor, as this assessment falls outside the scope of this report.

Areas Inspected and Reported Upon

The building and the site including fencing that is up to 50 metres from the building and within the boundaries of the site. Where present and accessible, the inspection shall include:

- (a) The interior of the building
- (b) The roof space
- (c) The exterior of the building
- (d) The sub-floor space
- (e) The roof exterior
- (f) The property within 50m of the building subject to inspection

The inspection covered parts of the building which were accessible and where clearances specified by the Australian Standard AS4349 (and described as reasonable access) was possible. These clearances are as follows:

Roof interior - accessible by a permanent hatch or opening larger than 450mm long and 400mm wide, which is accessible from a 2.1m step ladder or a 3.6m ladder placed against a wall. Only crawl spaces within the roof with greater than 600mm horizontal and vertical clearances will be accessed.

Subfloor - accessible by a permanent hatch or opening larger than 500mm wide and 450mm high. Only crawl spaces within the subfloor with greater than 400mm height beneath timber or 500mm beneath concrete will be accessed.

Roof exterior - inspectors will not walk upon the surface of roofs as it is a contravention of workplace safety laws and regulations in NSW. The roof, where visible, will be inspected from suitable vantage points within the property. Where these clearances were not available, areas within the unobstructed line of sight of the consultant which were also within arms length were inspected and have been subsequently reported on.

The inspection did not include areas which were inaccessible, not readily accessible or obstructed at the time of inspection. Areas which are not normally accessible and were not inspected include (but are not limited to) inside wall structures (cavities, voids, etc), the interior of a flat or low pitched roof or beneath a suspended floor filled with earth.

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Summary Of Major Defects And Safety Hazards

Below Is A Summary Of Significant Items Requiring Immediate Action.

Section	Location	Name	Comment
CONCLUSION	Condition Of Inspected Structure	The incidence of Major defects	No major defects were observed during the inspection.

Summary Of Minor Defects

Below Is A Summary Of Defects Other Than Major Defects.

Section	Location	Name	Comment
Interior	Doors	General condition	The internal doors and frames of the building have some observations and findings (e.g. en-suite door bears heavily on the track, garage internal access door has some deterioration, under stair cupboard door binds with the frame) but appear to be in fair condition overall. Recommend general maintenance and repair as necessary by a licensed tradesman.
Subfloor	Subfloor Observation	Subfloor Cleanliness	There was debris, timber, and other material in the subfloor. It is recommended removing these to aid with ventilation and reduce the likelihood of rodents and pests.
CONCLUSION	Condition Of Inspected Structure	The incidence of Minor defects	The incidence of minor defects in this residential building as compared with similar buildings is considered to be LOW.

REPORT INFORMATION

Weather at Inspection Area

Weather Conditions

The weather was fine and dry at the time of the building inspection.

Property Information

Direction House Faces

Looking from the front of the building back towards the road, the dwelling faces in a southeasterly direction.

Building Type

The dwelling is a residential house.

Construction Type

The house is of brick veneer construction.

Roof Cladding

The roof is metal.

Roof Design

Pitched roof design.

Footings Type

Concrete slab on ground.

Foundation walls and brick piers supporting timber bearers and joists.

Storeys

Tri level home.

Property Occupied/Furnished Status

The property was occupied and furnished at the time of inspection.

People Present

The vendor was present.

There was a tradesman onsite working on the decks (e.g. replacing and refixing decking boards).

Utility Status

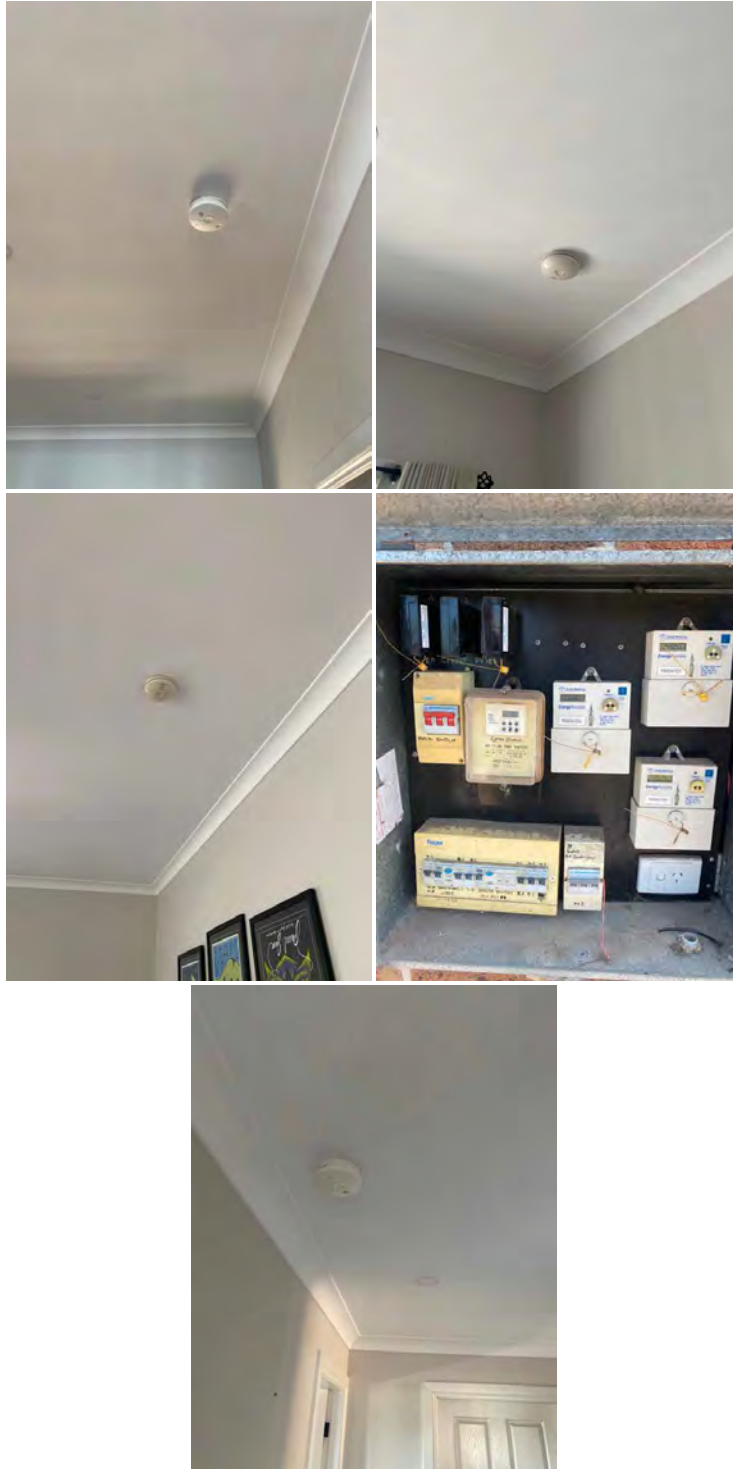
Water

The water was connected. All plumbing pipe installation should be assessed by a licensed plumber.

Electricity

Electricity to the dwelling was connected. Note: We do not carry out electrical inspections for wiring or safety. This must be carried out by a licensed electrician and it is recommended you have all electrical wiring and components assessed by a licensed electrician.

Although the inspection and testing of smoke detectors fall outside the scope of this report and our expertise, it should be noted that four smoke detectors were observed in the hallway near the ground floor bedrooms, entry foyer, family room, lounge. Smoke detectors should be inspected and tested by a licensed electrician or specialist contractor.



Consultant Comments

Comments

Note: Compliance with building codes, standards, government legislation, and/or manufacturer specifications falls outside the scope of this report. It should be noted that some works performed to the building/s and/or property may not comply. For further information regarding this contact the local area council or appropriate building consultant, government agency, or manufacturer.

Photographs located within the report are examples of observations, defects, or the like from the property inspected (unless otherwise noted). There may be other observations, defects, or the like which have not been included in photographic form.

As electrical falls outside the scope of this report, it is recommended that a licensed electrician is engaged to inspect the electrical system.

As plumbing falls outside the scope of this report, it is recommended that a licensed plumber is engaged to inspect the plumbing system.

As air conditioning and ventilation falls outside the scope of this report, it is recommended that a licensed technician is engaged to inspect the air conditioning and ventilation systems.

According to appendix D Exclusion of Items from Inspection part (p) of AS 4349.1 2007: Health hazards (e.g. allergies, soil toxicity, lead content, radon, presence of asbestos, or urea formaldehyde) are excluded from pre-purchase inspections.

Furniture, furnishings, cupboards, and the like that are not fixed to the building are considered belongings and are not inspected.

PROPERTY CONDITION ASSESSMENT

Important Note

About this condition assessment

This section of the report may be used as a guide for clients to see which areas of the building were inspected, and the inspector's general opinion of their condition.

It is not intended to be a comprehensive or exhaustive list of all defects that may exist within the property.

All major defects will be identified. A major defect is one that requires rectification in order to avoid further damage to the property, or that may represent a safety hazard to users of the building.

Only some minor defects will be reported. The reported minor defects are those which are considered by the consultant to be not of a typical type for the building's age and type, and which should be repaired in the near future. Minor defects which are patently obvious to a person without any technical skill or expertise in building condition assessment may not be reported upon.

This assessment should not be used to replace a careful inspection of the property by prospective purchasers.

Site

Driveway

Materials

The driveway is concrete.

Driveway Condition

The driveway is in generally fair condition for the age and type.



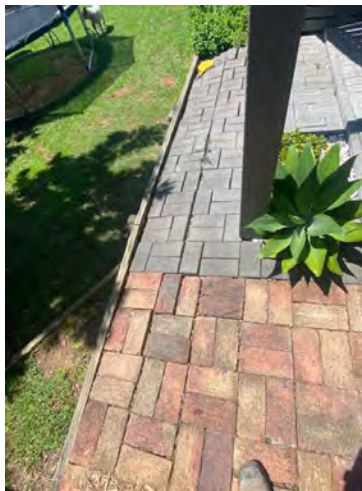
Pathways And Patios

Materials

The pathways and/or patios are paved.

Pathway Condition

Cracking and/or settlement was observed within the pathways and/or patios. Despite this, the pathways/patios are considered to be in typical condition for pathways of similar age and construction type. Recommend repair as necessary by a licensed tradesman.



Fences and Gates

Overall Condition

The general condition of the fences is generally fair condition for their age and type and fences are generally fit for purpose.

Retaining Walls

Material

There are masonry retaining walls within the property and/or along the boundaries.



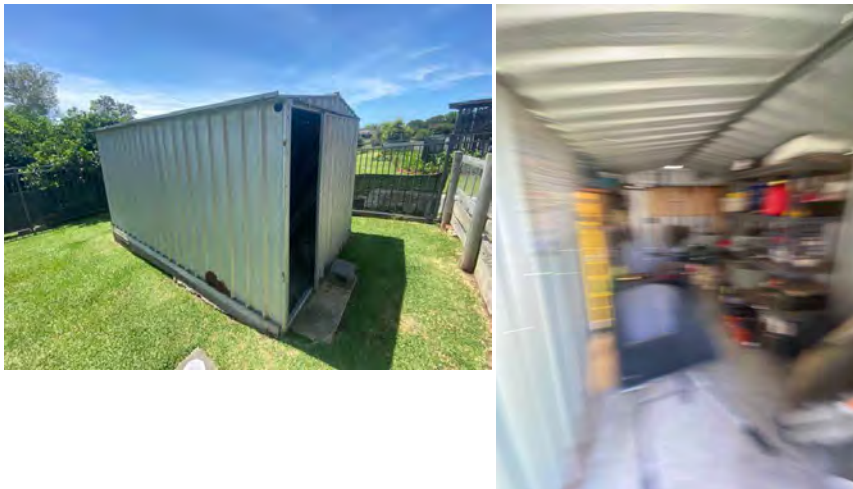
Overall Condition

Retaining walls within the property are generally sound and fit for purpose. Note that only retaining walls which support elements of the building, and landscaping walls greater than 700mm in height were inspected. This is in accordance with AS 4349.

Shed

Shed Location

An isolated shed building stands to the northwest of the house.





Shed Condition

The isolated building has minor deterioration but is in typical condition for its age and type.

Roof and guttering

Roof Covering

Roof Covering Type

The roofing material is metal roof cladding.

Overall Condition

The roof is in a generally serviceable condition for its age and type, and appears generally fit for purpose.

The roof of the building (predominately to the western parts) was not inspected as the height above ground prevented safe access.

In the absence of rainfall there is no guarantee that the roof will not leak.

Roof Clad Condition

The roof cladding appeared in typical condition for the age of this dwelling.

Flashing Conditions

Flashings to the roof appear sound and fit for purpose.

Guttering

Gutter Findings

Gutters to the building are in a generally fair condition for their age and type, and free from any significant defects. Recommend general maintenance and repair as necessary (e.g. cleaning and sealing joints).

Down Pipes

Down Pipe Findings

Downpipes to the building are in a generally fair condition for their age and type, and free from any significant defects. Recommend general maintenance and repair as necessary (e.g. cleaning and sealing joints).

Exterior

Exterior Walls

Exterior Wall Material

The exterior walls are brick.





Condition

External walls to the building are in a generally fair condition for their age and type, and are free from any significant defect.

External Doors

Door Findings

The external doors of the building are in a generally fair condition overall and fit for purpose. However, there were some observations (e.g. minor damage/holes in some jambs). Recommend general maintenance and repair as necessary by a licensed tradesman. In some instances components may need to be replaced.



Exterior Windows

Condition

The windows appear in a generally fair condition for their age and type, and are in a serviceable condition. Recommend general maintenance and repair as necessary. In some instances components may need to be replaced.

Eaves

Eave Condition

The eaves are in a generally fair condition for their age and type and are without notable defect.

Fascia and Barge Boards

Condition

Fascias and bargeboards are in a typical condition for the building's age and type.

Hot Water/Water Tanks/Septic

Hot Water Unit

Hot Water Unit Findings

The hot water system appears to be in a serviceable condition. No specific tests other than running the hot water from a tap was carried out. No determination has been made as to the suitability or adequacy of the hot water system in relation to capacity or otherwise.

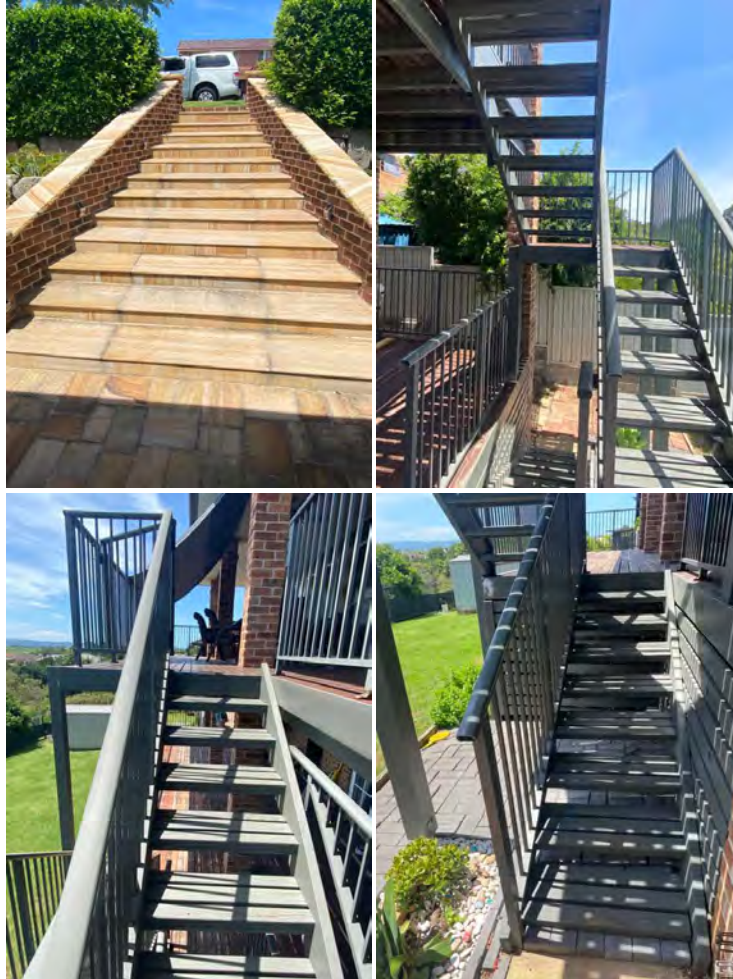


External stairs, decks, balconies and pergolas

Stairs and Steps

Overall Condition

External stairs to the building are in a generally fair condition for their age and type, and appear serviceable.

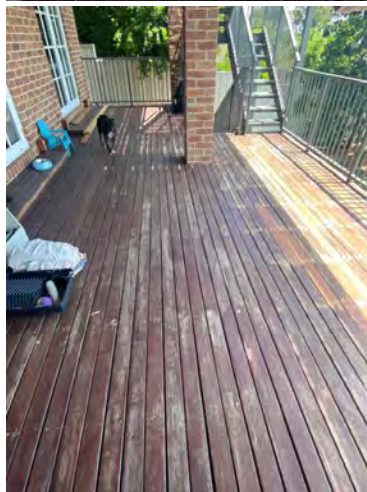


Decks

Overall Condition

The decks to the building are in a generally fair condition for their age and type, and appears serviceable. The decks are comprised of a metal superstructure with timber decking boards.







Verandah

Overall Condition

The verandahs of the building appear in fair condition for their age and type.



Interior

Doors

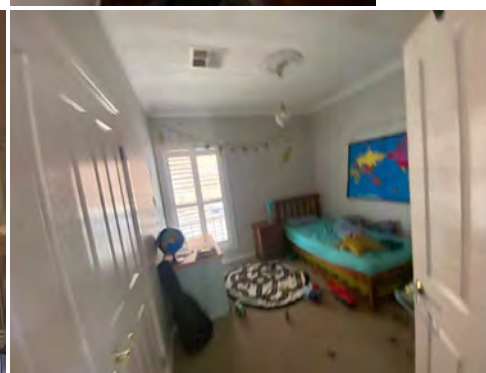
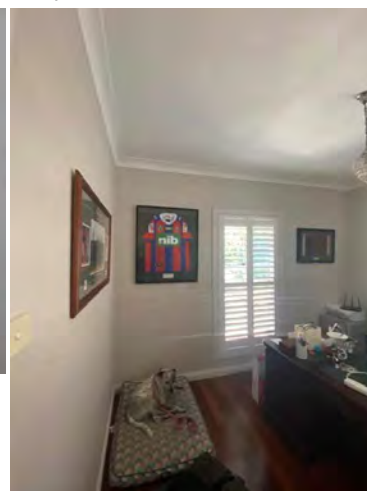
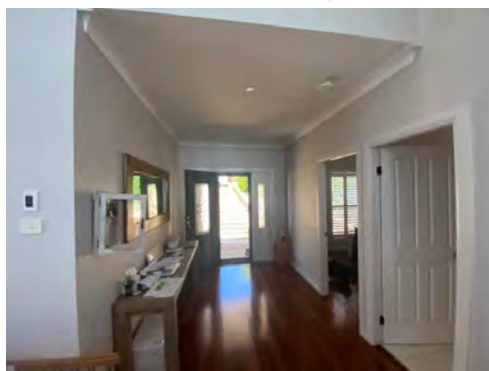
General condition

The internal doors and frames of the building have some observations and findings (e.g. en-suite door bears heavily on the track, garage internal access door has some deterioration, under stair cupboard door binds with the frame) but appear to be in fair condition overall. Recommend general maintenance and repair as necessary by a licensed tradesman.

Internal linings

Condition

There are some observations and findings to the internal linings, trims, and finishes. This may include but are not limited to: marks, blemishes, isolated areas of minor deterioration, and/or evidence of maintenance. However, the internal walls, linings and finishes are in generally fair to good condition, and contain no significant defect. Recommend general maintenance and repair as necessary.





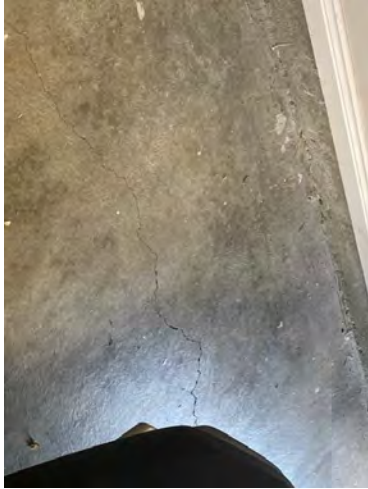
Garage

Condition

The internal linings, trims, and finishes are in generally fair condition. Recommend general maintenance and repair as necessary by a licensed tradesman.

The vehicle door was tested and operated, however the automatic door opener appeared to require maintenance. Recommend general maintenance and repair as necessary by a specialist contractor.





Kitchen

Kitchen and Meals Area

Overall Condition

The inspection of appliances does not form part of this inspection. Recommend further assessment by licensed tradesmen or specialist contractors.

Kitchen areas are in fair to good condition.



Sink & Taps

The sink appears to be in generally fair condition. The tap was run and no leaks were observed.

Cupboards and Benchtops

The cupboards and bench tops appear to be in generally fair to good condition.

Laundry

Laundry

Overall Condition

Laundry fixings and fittings are in fair to good condition.



Linings & Tiling

The internal linings and tiling appear to be in generally fair to good condition.

Tub & Cabinet

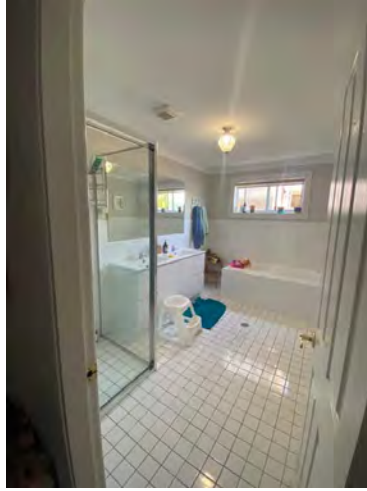
The tap was run and no leaks were observed.

Bathroom

Bathrooms and toilets

Overall Condition

Bathroom areas are in fair to good condition.



Linings & Tiling

The internal linings and tiling appear to be in generally fair to good condition.

Sink & Taps

The sinks appear to be in generally fair condition. The taps were run and no leaks were observed.

Toilet

The toilet was flushed and no leaks were observed.

Tub & Shower Recess

The shower recess appears to be in a serviceable condition. The shower was run for approximately 3-5 minutes then the accessible adjacent wall linings were tested with electronic impedance moisture testing equipment and/or thermal imaging, and found to be dry.

The tap to the tub was run and no leaks were observed.

En-suite

En-suite Areas

Overall Condition

En-suite areas are in fair to good condition.



Linings & Tiling

The internal linings and tiling appear to be in generally fair to good condition.

Sink & Taps

The sink appears to be in generally fair condition. The tap was run and no leaks were observed.

Toilet

The toilet was flushed and no leaks were observed.

Tub & Shower Recess

The shower recess appears to be in a serviceable condition. The shower was run for approximately 3-5 minutes then the accessible adjacent wall linings were tested with electronic impedance moisture testing equipment and/or thermal imaging, and found to be dry.

Water closet (WC)

Water Closet Areas

Overall Condition

Water closet (WC) areas are in fair to good condition.



Linings & Tiling

The internal linings and tiling appear to be in generally fair to good condition.

Sink & Taps

The sink appears to be in generally fair condition. The tap was run and no leaks were observed.

Toilet

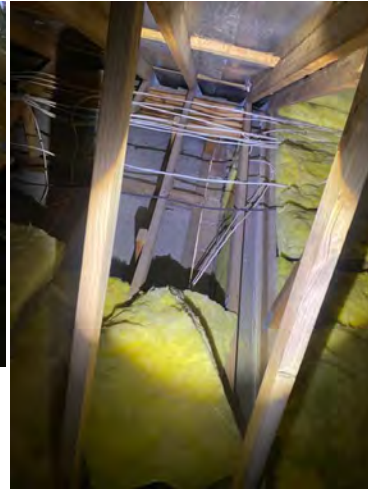
The toilet was flushed and no leaks were observed.

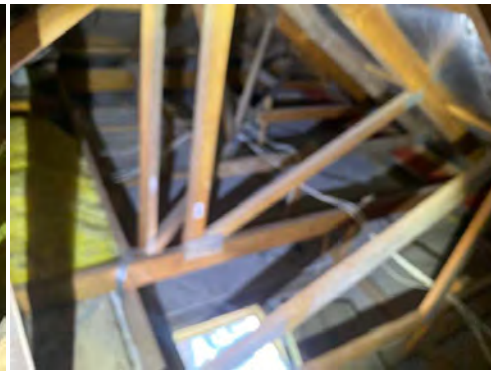
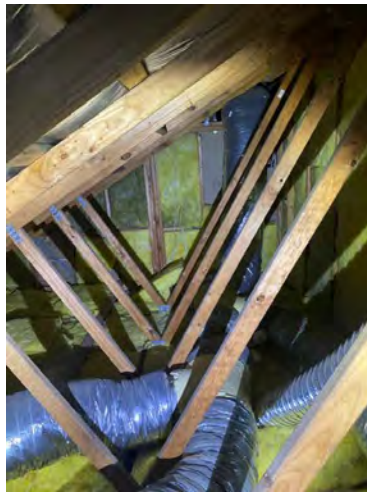
Roof void

Roof Void Findings

Roof Frame Type

The roof frame is a truss timber frame.









Roof Framing Defects

Mechanical ventilation has been installed in the roof voids (three units were observed).

Insulation

Type

The roof space is insulated with fibreglass batts.

The roof space is insulated with reflective fibreglass batts (e.g. sometimes referred to as sisalation) under the roof cladding.

Condition

Where visible and accessible, the insulation appears to be in a serviceable condition.

Sarking

No sarking installed.

Subfloor

Subfloor Observation

General Condition

The subfloor area and substructural components of the building appeared to be in a fair condition for a building of similar age and type.



Subfloor Cleanliness

There was debris, timber, and other material in the subfloor. It is recommended removing these to aid with ventilation and reduce the likelihood of rodents and pests.

CONCLUSION

Condition Of Inspected Structure

Overall Condition

The overall condition of this building has been compared to similarly constructed buildings of approximately the same age where those buildings have been maintained to ensure that the building elements are still fit for purpose.

The summary lists of major and minor defects included this report reflect the opinion of the inspector. Other inspectors may differ in opinion.

The summary forms part of this report and should not be relied on solely. Please read the entire report.

The incidence of Major defects

No major defects were observed during the inspection.

The incidence of Minor defects

The incidence of minor defects in this residential building as compared with similar buildings is considered to be LOW.

The Overall Condition Of This Dwelling

The overall condition of this residential dwelling in the context of its age, type and general expectations of similar properties is ABOVE AVERAGE.

Assessment of Risk of Undetected Damage

Reader's of this report should be alert to the possibility of that there may be damage to structural timbers within the building from termite infestation which is concealed by wall and ceiling linings, and that such damage has neither been inspected for nor reported herein.

Recommendations for Additional Inspection

There is no recommendation for additional investigation or specialised inspection to supplement this pre-purchase inspection.

TERMS AND CONDITIONS

The purpose of the inspection is to identify the major defects and safety hazards associated with the property at the time of the inspection. The inspection and reporting is limited to a visual assessment of the building members in service.

DEFINITIONS AND TERMINOLOGY

DEFINITIONS

SERVICEABLE: The building material or component is in reasonable or serviceable condition for the age of the dwelling.

TRADESMAN: A defect or a number of defects were visible that will require assessment by a qualified tradesperson.

AGE: The component has deterioration due to ageing or lack of upkeep and or maintenance.

MONITOR: Some defects may require monitoring to ascertain if the defect will worsen, reappear or cause further problems.

STRATA: In the case of strata and company title properties, the inspection is limited to the interior and immediate exterior of the particular unit being inspected. This report does NOT include review of body corporate or similar records.

HIGH: The frequency and/or magnitude of defects are beyond the inspectors expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

TYPICAL: The frequency and/or magnitude of defects are consistent with the inspectors expectations when compared to similar buildings of approximately the same age which have been reasonably well maintained.

LOW: The frequency and/or magnitude of defects are lower than the inspectors expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

ABOVE AVERAGE: The overall condition is above that consistent with dwellings of approximately the same age and construction. Most items and areas are well maintained and show a reasonable standard of workmanship when compared with buildings of similar age and construction.

AVERAGE: The overall condition is consistent with dwellings of approximately the same age and construction. There will be areas or items requiring some repair or maintenance.

BELOW AVERAGE: The building and its parts show some significant defects and/or very poor non- tradesman like workmanship and/or long term neglect and/or defects requiring major repairs or reconstruction of major building

SIGNIFICANT ITEMS: An item that must be reported in accordance with the scope of the inspection.

MAJOR DEFECT: A defect of sufficient magnitude requiring building works to avoid unsafe conditions, loss of function or further worsening of the defective item.

MINOR DEFECT: Any defect other than what is described as a significant item or major defect.

SAFETY HAZARD: A defect that presents unsafe conditions and must be reported as a major defect.

ACCESSIBLE AREA: Is any area of the property and structures allowing the inspector safe and reasonable access within the scope of the inspection.

Important advice.

LIMITATION: A factor that prevents full or proper inspection of the building.

IMPORTANT INFORMATION

Important information regarding the scope and limitations of the inspection and this report. Any person who relies upon the contents of this report does so acknowledging that the following clauses which define the scope and limitations of the inspection, form an integral part of the report.

1) **NOT A CERTIFICATE OF COMPLIANCE:** This report is not an all encompassing report dealing with the building from every aspect. It is a reasonable attempt to identify any obvious or significant defects apparent at the time of the inspection. Whether or not, a defect is considered significant or not depends to a large extent, upon the age and type of the building inspected. This report is not a certificate of compliance with the requirements of any act, regulation, ordinance or by-law. It is not a structural report. Should you require any advice of a structural nature you should contact a structural engineer.

2) **VISUAL INSPECTION:** This is a visual inspection only limited to those areas and sections of the property fully accessible and visible to the inspector on the date of inspection. The inspection did not include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The inspector cannot see inside walls, between floors, inside skillion roofing, behind stored goods in cupboards and other areas that are concealed or obstructed. The inspector did not dig, gouge, force or perform any other invasive procedures. Visible timbers cannot be destructively probed or hit without the written permission of the property owner.

3) **CONCEALED DEFECTS:** This report does not and cannot make comment upon: Defects that may have been concealed the assessment or detection of defects (including rising damp and leaks) which may be subject to the prevailing weather conditions, whether or not services have been used for some time prior to the inspection and whether this will affect the detection of leaks or other defects (eg. In the case of shower enclosures and bath tubs, the absence of any leaks or dampness at the time of the inspection does not necessarily mean that the enclosure will not leak after use) the presence or absence of timber pests; gas-fittings; common property areas; environmental concerns; the proximity of the property to flight paths, railways, or busy traffic; noise levels; health and safety issues; heritage concerns; security concerns; fire protection; site drainage (apart from surface water drainage); swimming pools and spas (non-structural); detection and identification of illegal building work; detection and identification of illegal plumbing work; durability of exposed finishes; neighbourhood problems; document analysis; electrical installation; any matters that are solely regulated by statute; any area(s) or item(s) that could not be inspected by the consultant.

4) **NO GUARANTEE:** Accordingly this report is not a guarantee that defects and/or damage does not exist in any inaccessible or partly inaccessible areas or sections of the property. Such matters may upon request be covered under the terms of a special purpose property report.

5) **SWIMMING POOLS:** Swimming pools/spas are not part of the standard building report under AS 4349.1-2007 And are not covered by this report. We strongly recommend a pool expert should be consulted to examine the pool and the pool equipment and plumbing as well as the requirements to meet the standard for pool fencing. Failure to conduct this inspection and put into place the necessary recommendations could result in finds for non compliance under the legislation.

6) **SURFACE WATER DRAINAGE:** The retention of water from surface run off could have an effect on the foundation material which in turn could affect the footings to the house. Best practice is to monitor the flow of surface water and storm water run off and have the water directed away from the house or to storm water pipes by a licensed drainage plumber.

7) **SHOWER RECESSES:** Tests may be made on shower recesses to detect leaks (if water is connected). The tests may not reveal leaks or show incorrect waterproofing if silicone liquid or masonry sealant has been applied prior to the inspection. Such application is a temporary waterproofing measure and may last for some months before breaking down. The tests on the shower recesses are limited to running water within the recesses and visually checking for leaks As showers are only checked for a short period of time, prolonged use may reveal leaks that were not detected at the time of inspection. No evidence of a current leak during inspection does not necessarily mean that the shower does not leak.

8) **GLASS CAUTION:** Glazing in older houses (built before 1978) may not necessarily comply with current glass safety standards AS1288. In the interests of safety, glass panes in doors and windows especially in traffic-able areas should be replaced with safety glass or have shatterproof film installed unless they already comply with the current standard.

9) **STAIRS AND BALUSTRADES:** Specifications have been laid down by the Australian Building Code – Section 3.9 covering stairs, landings, balustrades to ensure the safety of all occupants and visitors in a building. Many balustrades and stairs built before 1996 may not comply with the current standard. You must upgrade all such items to the current standard to improve safety.

10) **RETAINING WALLS:** Where retaining walls are located more than 700mm high these wall/s should have been installed with engineering design and supervision. Walls found on the site were not assessed and the performance of these walls is not the subject of a standard property report and should be further investigated with regard to the following items, adequate drainage systems, adequate load bearing, correct component sizing and batter.

11) **ROOMS BELOW GROUND LEVEL:** If there are any rooms under the house or below ground level (whether they be habitable or non-habitable rooms), these may be subject to dampness and water penetration. Drains are not always installed correctly or could be blocked. It is common to have damp problems and water entry into these types of rooms, especially during periods of heavy rainfall and this may not be evident upon initial inspection. These rooms may not have council approval. The purchaser should make their own enquiries with the Council to ascertain if approval was given.

12) **ASBESTOS DISCLAIMER:** No inspection for asbestos was carried out at the property and no report on the presence or absence of asbestos is provided.

13) **MOULD (mildew and non-wood decay fungi) DISCLAIMER:** Mildew and non wood decay fungi is commonly known as mould. However, mould and their spores may cause health problems or allergic reactions such as asthma and dermatitis in some people. No inspection for mould was carried out at the property and no report on the presence or absence of mould is provided.

14) **MAGNESITE DISCLAIMER:** No inspection for magnesite flooring was carried out at the property and no report on the presence or absence of magnesite flooring is provided. You should ask the owner whether magnesite flooring is present and/or seek advice from a structural engineer.

15) **ESTIMATING DISCLAIMER:** No estimate is provided in this report. We strongly recommend you obtain quotes for repairs from licensed tradesman prior to a decision to purchase.

16) **INTELLECTUAL PROPERTY:** All findings and recommendations of the inspector which are reported within this document remain the intellectual property of Inspectrite Pty Limited. Inspectrite Pty Limited reserves the right to provide the information to any party, including any party or parties unrelated to the original Client, for fee or otherwise.

IMPORTANT DISCLAIMERS

17) **DISCLAIMER OF LIABILITY:** No liability shall be accepted on an account of failure of the report to notify any problems in the area(s) or section(s) of the subject property physically inaccessible for inspection, or to which access for inspection is denied by or to the inspector (including but not limited to or any area(s) or section(s) so specified by the report). Compensation will only be payable for losses arising in contract or tort sustained by the client named on the front of this report. Compensation is limited to the price of the report initially paid by the claimant named in the report as the "CLIENT".

18) **DISCLAIMER OF LIABILITY TO THIRD PARTIES:** Compensation will only be payable for losses arising in contract or tort sustained by the Client named on the front of this report. Any third party acting or relying on this report, in whole or in part, does so entirely at their own risk.

OTHER RECOMMENDED INSPECTIONS

Electrical installation: All electrical wiring, meter-box and needs to be checked by a qualified electrician. The inspection of any electrical item is outside the scope of this report. It is recommended that a licensed electrician be consulted for further advice.

Plumbing: All plumbing need to be inspected and reported on by a plumber. It is recommended that a licensed plumber be consulted for further advice.

Hot water service: All hot water services need to be inspected and reported on by a plumber and/or electrician. It is recommended that a licensed plumber and/or electrician be consulted for further advice.

Gas: All gas services need to be inspected and reported on by a gas plumber. It is recommended that a licensed gas plumber be consulted for further advice.

Phone: All phones, phone lines and outlets need to be inspected and reported on by a telecommunications technician. It is recommended that a telecommunications technician be consulted for further advice.

Smoke detectors: Australian standard AS3786 advises that smoke detectors are required for all buildings where people sleep. It is recommended that an electrician be consulted to give advice on those installed or install these detectors.

Septic tanks: Should be inspected by a licensed plumber.

Trees: Trees that are too close to the house could affect the performance of the footing as the moisture levels change in the ground. A geo-technical inspection can determine the foundation material and provide advice on the best course of action with regards to the trees.

TERMINOLOGY

The definitions below apply to the types of defects associated with individual items/parts or inspection areas.

Damage: The building material or item has deteriorated or is not fit for its designed purpose.

Distortion, warping, twisting: The item has moved out of shape or moved from its position.

Water penetration, dampness: Moisture has gained access to unplanned and/or unacceptable areas.

Material deterioration: The item is subject to one or more of the following defects; rusting, rotting, corrosion, decay.

Operational: The item or part does not function as expected.

Installation: The installation of an item is unacceptable, has failed or is absent.

Closing Note

*IGP Holdings Pty Ltd ACN 621 485 710 atf IGP Family Trust t/a Inspectrite Australia

The Inspection and Report was carried out by: Lance J Gunther

Contact the Inspector on:

For and on Behalf of: Inspectrite Australia

A handwritten signature in blue ink, consisting of a large, stylized 'L' and 'G' intertwined within a circular shape.